

A1 FIRST FLOOR CODE PLAN

SCALE: 3/32" = 1'-0"

GENERAL NOTES

- THE BUILDING SHALL HAVE COMPLETE NFPA 13 FIRE SPRINKLER COVERAGE. FINAL DESIGN TO BE DEFERRED SUBMITTAL BY VENDOR.
- THE BUILDING SHALL HAVE COMPLETE NEC 72 FIRE ALARM COVERAGE. FINAL DESIGN TO BE DEFERRED SUBMITTAL BY VENDOR.

LEGEND

1000 E/OFFICE 2
32" MIN 22
32" MIN 22
32" MIN 22

SF. OF SPACE
USE GROUP (CHAPTER 3) OCCUPANCY CATEGORY FACTOR
(TABLE 1004.1.1)
TOTAL OCCUPANTS

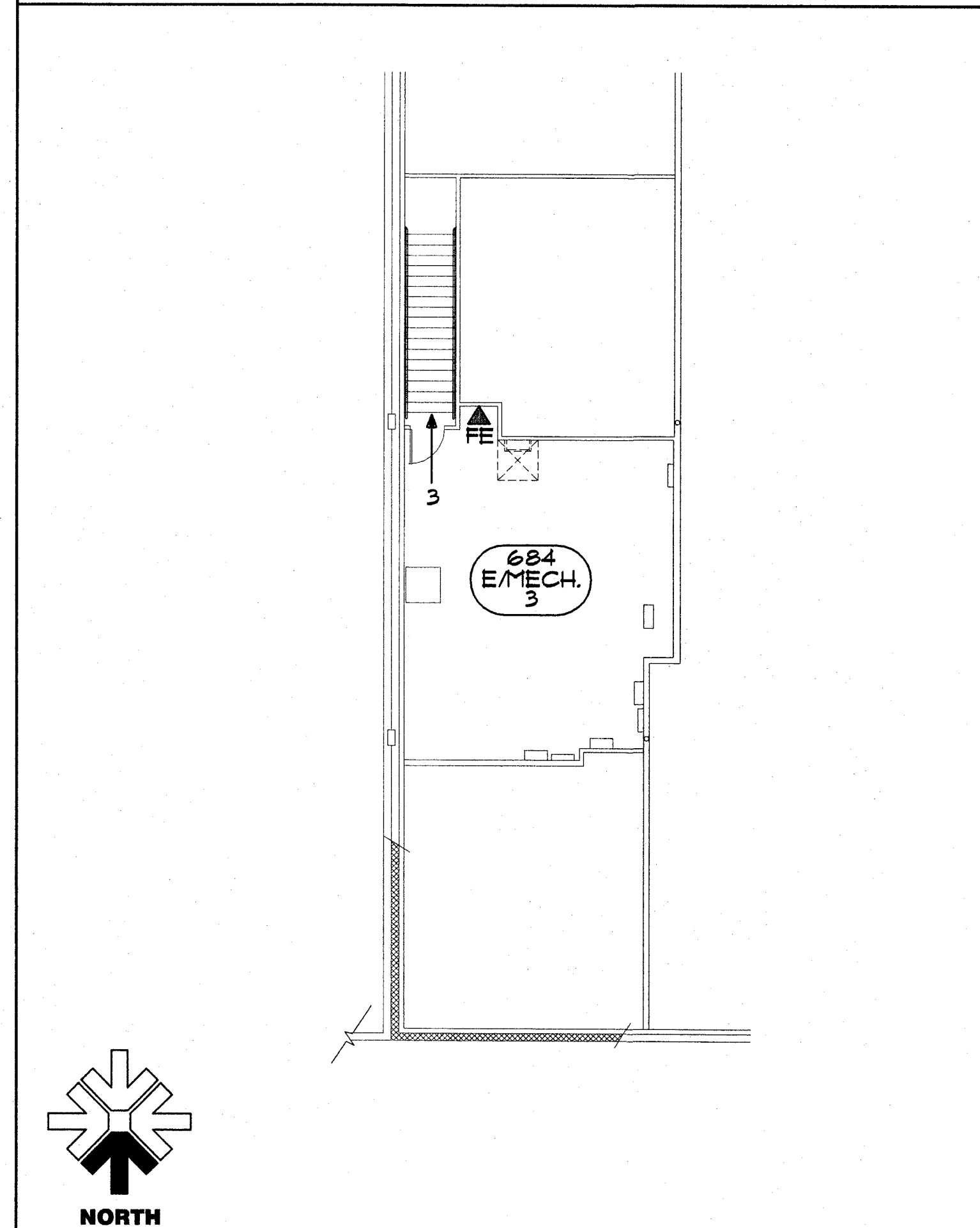
REQ'D EXIT WIDTH (IBC 1005)
OCCUPANT LOAD
EGRESS ROUTE

EXIT SIGN

FE FIRE EXTINGUISHER CABINET
WALL MOUNTED

ASSUMED EXISTING 2 HR RATED SEPARATION (FIRE WALL IBC 706)

H.O. MAGNETIC HOLD OPENS



A6 MEZZANINE CODE PLAN

SCALE: 3/32" = 1'-0"

GENERAL NOTES

City of Kennewick
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Zoning Requirements:
1315 West Fourth Avenue - 1315 Building Renovations
Kennewick, Washington
Zoning Designation: CC (Commercial Community District)
Allowable Use: Tenant improvement of existing commercial structure for use as educational space
SEPA Review: No change to building footprint, no change to overall parking lot configuration, therefore SEPA review is not required.
Parking: Minimal site work is included in this tenant improvement project.

Building Code Requirements:
Applicable Requirements:
International Building Code, 2009 edition with WAC amendments
International Existing Building Code, 2009 edition
International Fire Code, 2009 edition
ANSI A117.1 1998, ADA-AG Accessibility requirements
Construction type: III - B (assumed from existing condition)
Occupancy class: E, Educational Classrooms and related support spaces (potential lease occupancy)
Fire Protection: Sprinkled building
IFC 2009 Fire Flow Requirements - NFPA 13
Construction Type III-B, 18,828 SF = 3,000 GPM with 3 hour duration
Sprinkler reduction of 50% = 1,500 GPM minimum fire flow

Allowable Areas and Heights Calculations:
Type III - B (Table 503):
Occupancy: E
Basic Allowable Area: 14,500 SF
Basic Allowable Height: 2 stories or 55'

Increased Areas / Heights: (Section 506):

	$A_a =$	$A_a +$	$A_a \cdot I_a +$	$A_a \cdot I_a$
Allowable area per story (equation 5-1)	49,856	14,500	6,356	29,000
Tabular area per floor from table 503	A_a	14,500	Type III-B	E occupancy
Area increase for frontage	I_a	0		
Area increase for sprinkler	I_a	2	Sprinkler	
Area increase for frontage (equation 5-2)	I_a	0.44		
Building perimeter < 20 min. yard width	F	440		
Building perimeter of entire building	P	567		
Minimum width of yards	W	25		
	Single Floor	Actual	Allowed	Okay
Total building (single floor plate x allowable stories)		49,856	18,826	Not applicable
Allowable height (basic from Table 503)	2	stories or	55'-0"	
Height increase (sprinkler 504.2)	1	story or	20'-0"	
Total allowable height	3		75'-0"	

Fire Resistive Requirements for Construction Components:
Type III - B (Table 601 and 602),
Component: E Occupancy
Exterior bearing walls: 2 hour
Exterior non-bearing walls: 1 hour < 30 feet (no rating elsewhere)
Exterior openings: Ref. Table 705.8
Interior bearing walls: no rating
Interior non-bearing walls: no rating
Structural frame: no rating
Permanent partitions: no rating
Shaft enclosures: no rating
Floor & floor/ceilings: no rating
Roofs & roof/ceilings: no rating
Class "C" (Table 1501.1) minimum required

Flame Spread Requirements for Construction Components:
Non-sprinkled building (Table 601 and 602),
Component: E Occupancy
Vertical exits & passageways: B (flame spread 26-75)
Exit access corridors: B (flame spread 26-75)
Rooms & enclosed spaces: C (flame spread 76-200)

Note: Class A (flame spread 0-25, smoke developed 0-450)
Class B (flame spread 26-75, smoke developed 0-450)
Class C (flame spread 76-200, smoke developed 0-450)

Estimated Occupant Loads & Exiting:
(Chapter 10)
Reference code summary plans for occupant loads and exit patterns

Notes:
1. For E occupancy areas the maximum travel distance 250' (sprinkled building) from the furthest point in any room to the point of entering a protected exit enclosure or exit discharge from the building.
2. Egress through intervening spaces is not allowed, unless the space is adjoining and accessory to the space being considered.
3. The maximum common path of egress (travel to point where two exit routes are available) shall not exceed 75' (IBC 1014.3).

Sanitation Systems & Plumbing Fixtures:
IBC Chapter 29, WAC Amended Table 2902.1 (using 2009 WAC amendments)
Approximately 18,800 (+/-) SF divided by 100 SF per occupant for High School Area = 188 occupants
= 94 male & 94 female:
Students
94 male = 3 w.c. required 6 w.c. provided
= 2 lav. required 4 lavs provided
94 female = 4 w.c. required 6 w.c. provided
= 2 lav. required 4 lavs provided
Staff (one per 20 students)
10 male & female = 1 w.c. required 2 w.c. provided
= 1 lav. required 2 lavs provided
198 total users = 2 drinking fountains required 4 drinking fountains provided
= 1 service sink required 2 service sinks provided

Notes:
1. Where urinals are provided, they can be used in place of the required number of water closets, as long as 25% of the required number of fixtures remain water closets. (WAC Amendments to Table 2902.1, Footnote 3)

Commentary #1 - Building Envelope Energy Code compliance:
An envelope summary is not applicable to this project. No new square footage is being added to the footprint of the facility. New roof insulation will be installed as part of the reroofing project. The remaining existing building envelope will remain unchanged.

REVISIONS

DRAWN BY:
KC

CHECKED BY:
BW

DATE
01/10/2013

JOB NUMBER
1278

SHEET NAME

CODE SUMMARY

SHEET
A1.02