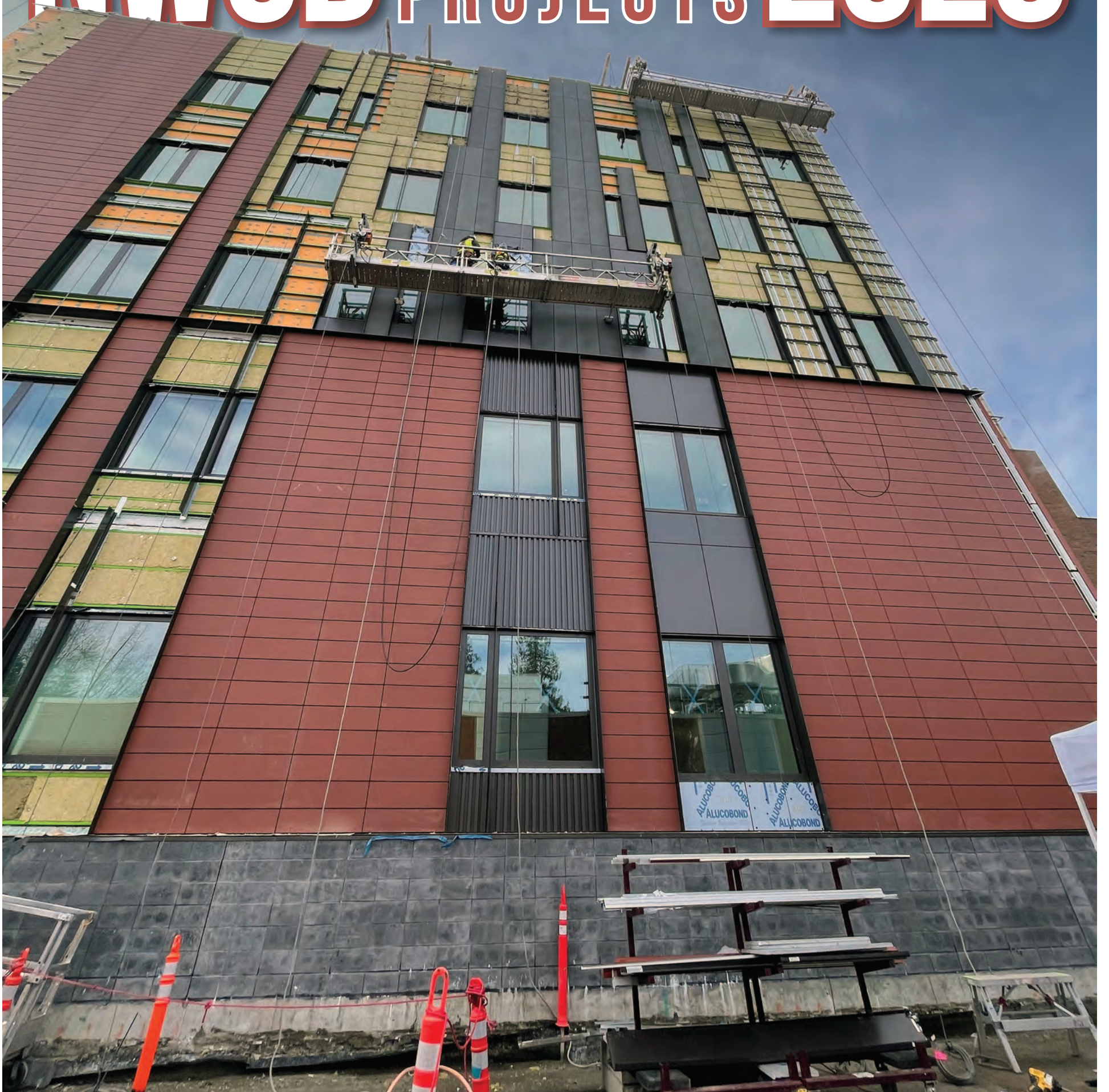


NWCB OUTSTANDING PROJECTS 2026



May 4, 2026

INTERIOR OVER \$1 MILLION WASHINGTON

Seattle Aquarium Ocean Pavilion

Location: 1500 Alaskan Way, Seattle

Contractor: Alliance Partition Systems

Architect: LMN Architecture Urban Design Interiors

Labor partners: Western States Carpenters; International Union of Painters and Allied Trades

Seattle Aquarium Ocean Pavilion, a state-of-the-art two-story expansion of the Seattle Aquarium, is located along the Seattle waterfront. The project provides new marine life exhibits and educational spaces designed to enhance the visitor experience while meeting demanding performance requirements for a waterfront environment. LMN Architecture and Alliance Partition Systems contributed to the design and construction of this technically complex and visually distinctive project. Alliance Partition Systems performed the interior scope of work, including cold-formed metal framing, exterior sheathing, air and weather barriers, insulation, and interior drywall systems.

The Ocean Pavilion project is unique in its architectural complexity and constrained urban site. The design incorporates sweeping radius walls, a large circular west-facing window, and custom soffit conditions that required close coordination between architects, engineers, and trade partners. The building's location on the active Seattle waterfront introduced additional requirements for waterproofing, durability, and material selection, while maintaining tight tolerances for finished interior spaces.

Construction presented significant logistical and technical challenges. The site had limited access with a single shared entry point, requiring careful scheduling of material deliveries, many of which were flown in by crane and installed the same day due to space constraints. Ongoing revisions to engineered drawings, long lead times for specialized materials such as Aqua Tough board and FRP, and the dense integration of mechanical and piping systems required continuous coordination and adaptability.

Through detailed planning, clear communication, and collaborative problem-solving, the project team successfully met aggressive deadlines and delivered a high-quality finished facility.

The site had limited access with a single shared entry point, requiring careful scheduling of material deliveries, many of which were flown in by crane and installed the same day due to space constraints.



PHOTO BY JON AND RACH PHOTOGRAPHY

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NWCB HONORS OUTSTANDING PROJECTS

The Northwest Wall and Ceiling Bureau recently handed out 16 awards for outstanding wall and ceiling projects in Washington and Oregon. Awards were given for interior and exterior finishes on commercial and residential projects, as well as for light-gauge steel framing, suspended ceilings, renovations and restorations, and for stucco and EIFS projects.

Projects were judged on design, jobsite innovation and/or conditions, quality of workmanship, use of materials and overall effect.

2026 OUTSTANDING PROJECTS OF THE YEAR AWARDS

WASHINGTON

Interior (over \$1 million)
Seattle Aquarium Ocean Pavilion

Exterior Residential
Kaye Apartments

Exterior Commercial
UWMC Behavioral Health Teaching Facility

Suspended Ceiling
Research Facility

Light-Gauge Steel Framing (over \$1 million)
Vietnamese Martyrs Parish

Renovation
Devonshire Apartments

Stucco/EIFS
Snoqualmie Casino

OREGON

Interior (over \$1 million)
Block 216 (Ritz-Carlton, Portland)

Interior (under \$1 million)
Beaverton Year-Round Shelter

Exterior Commercial
Willamette Valley Oregon Temple

Suspended Ceiling
PeaceHealth Southwest Medical Center Emergency Department Addition

Light-Gauge Steel Framing (over \$1 million)
Clackamas County Circuit Court-house

Light-Gauge Steel Framing (under \$1 million)
LCC Industry and Trades Education Center

Renovation
Benson Polytechnic High School Modernization

Restoration
Albina Library

Stucco/EIFS
Hope Plaza

EXTERIOR RESIDENTIAL WASHINGTON

Kaye Apartments

Location: 2208 4th Ave., Seattle
Contractor: Performance Contracting
Architect: VIA Architecture
Labor partners: Foundation Building Materials GTS Interior Supply

Kaye Apartments, a 31-story multifamily residential tower in Seattle's Belltown neighborhood, includes ground-level retail, below-grade parking, and a mix of unit types, up to three bedrooms, totaling 324 residential units, and resident amenity spaces positioned on levels six and thirty-one. VIA

Architecture and Performance Contracting contributed to the design and construction of this high-density urban residential development. Performance Contracting performed the exterior and interior wall scope, including metal stud framing, sheathing and building envelope systems.

The project is notable for its scale and complexity within a constrained urban site. This required careful coordination of exterior enclosure work alongside an accelerated construction schedule. PCI provided design-assist services and scheduling support. The scope of work included interior and exterior metal stud framing, weather-resistant barriers, thermal insulation, gypsum board assemblies, firestopping, fireproofing, and spray-applied acoustic insulation application.

A significant challenge on the project was completing exterior framing, sheathing, and weather barrier installation at the podium levels during the winter months while maintaining schedule. Compounding this challenge was limited site access, with adjacent buildings located approximately one foot from the slab edge on the north and south elevations.

To address these constraints, PCI utilized its in-house panel shop to prefabricate exterior wall panels, improving quality control, streamlining installation, and enabling efficient sequencing in tight conditions. The judges appreciated this panelized approach and how it allowed the project team to maintain productivity and precision despite restricted access and seasonal weather impacts.

The successful completion of the Kaye Apartments represents a major accomplishment for Performance Contracting and contributes a significant new residential presence to Seattle's Belltown neighborhood.



The apartment tower required careful coordination of exterior enclosure work on a constrained urban site with an accelerated construction schedule.

PHOTO BY JULIE SWARTZ

ON THE COVER

The six-story UWMC Behavioral Health Teaching Facility incorporates five distinct façade types and five different substructure attachment methods.

PHOTO BY ALYSSA ACHESON

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SEATTLE DAILY JOURNAL OF COMMERCE

buildings in the Spring District were on the market. Of the two, Block 5 remains

Runstad and Shorenstein Properties, who have sold other buildings there in the past.

Last week, Broderick Group said in its fourth-quarter Eastside office report that Block 6 has sold for \$270 million. King County hasn't yet recorded any such deal at 1646 123rd Ave. N.E. (That's on the east side of the campus.)

Says Broderick, "The project garnered strong interest, numerous tours, and multi-

The apartments opened in phases, beginning in 2009, then first sold in 2015

319 Redmond trade for \$147

By BRIAN MILLER

Giovanni Napoli, Phil.

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EXTERIOR COMMERCIAL WASHINGTON

UWMC Behavioral Health Teaching Facility

Location: 1550 N. 115th St, Seattle

Contractor:

Performance Contracting

Architect: SRG Partnership

Labor partners: Western States Carpenters; Operative Plasterers' and Cement Masons' International Association

UWMC Behavioral Health Teaching Facility, a six-story, 191,000-square-foot medical and teaching facility, is located at the University of Washington Medical Center Northwest Campus in Seattle.

The project is a major addition to the existing campus, and provides expanded inpatient behavioral health services, teaching spaces, conference facilities, and support functions, including a campus kitchen and facilities management areas. SRG Partnership and Performance Contracting contributed to the design and construction of this complex institutional facility.

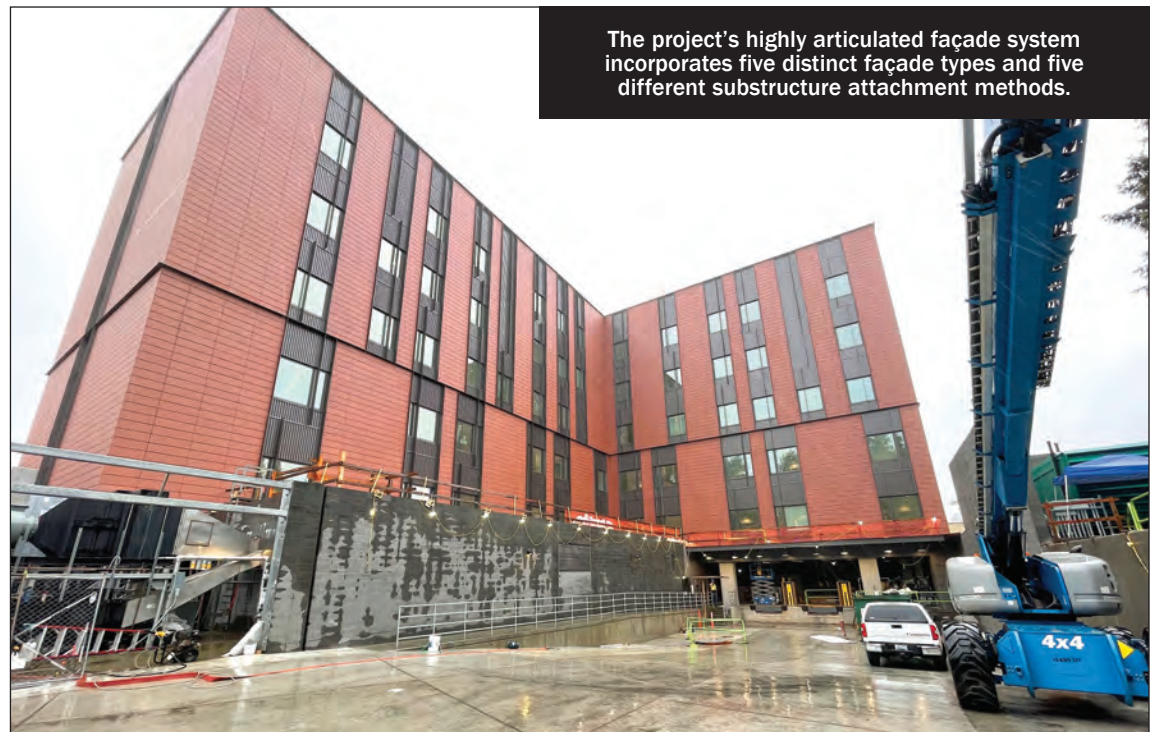
The project is notable for its highly articulated façade system, which incorporates

five distinct façade types and five different substructure attachment methods. PCI was engaged early in the project and provided pre-construction review, design coordination, and BIM collaboration to ensure framing, attachment, and sequencing requirements were fully resolved prior to installation.

PCI's scope included interior and exterior metal stud framing, exterior sheathing, weather and air barriers, thermal and batt insulation, spray-applied and intumescent fireproofing, acoustical ceilings, and exterior façade assemblies consisting of metal panels, cementitious panels, terracotta panels and custom aluminum fins.

A significant challenge was managing the complexity and volume of custom façade components while maintaining quality and schedule. Through an extensive shop drawing and preconstruction process, PCI was able to order the majority of façade materials in the exact sizes needed, minimizing field cutting and improving installation efficiency.

These included more than 10,000 terracotta panels, over 3,700 metal panels,



The project's highly articulated façade system incorporates five distinct façade types and five different substructure attachment methods.

PHOTO BY ALYSSA ACHESON

nearly 500 cementitious panels, and more than 1,000 custom aluminum fins. Exterior access was constrained due to ongoing site work. This required the use of swing stages, with their attendant weight limitations. In response, PCI fabricated

custom material hoists and utilized parapet-mounted lifting systems. This allowed materials to be staged efficiently and safely without interrupting installation workflows.

The judges recognized the technical complexity of the

façade systems and applauded the logistical solutions of the build team. The project team successfully delivered a high-quality exterior that has integrated seamlessly with the existing campus and will serve the community for years to come.

SUSPENDED CEILING WASHINGTON

Research facility

Location: Seattle

Contractor: Anning-Johnson Company

Architect: Flad Architects

Labor partners: Laborers International Union of North America; Western States Carpenters

This tenant improvement project for an undisclosed confidential client within an existing building in Seattle features a custom suspended wood ceiling system developed as a prototype for future phases currently under construction. The project involved the design and installation of a highly sculptural ceiling intended to evoke the motion of a wave approaching shore. Flad Architects and Anning-Johnson Company collaborated closely to translate this conceptual design into a buildable and repeatable system. Anning-Johnson performed the complete suspended ceiling scope, including the custom

fabrication and installation of the wood ceiling assemblies.

The complexity of the ceiling geometry and the requirement to achieve a continuous flowing form while using a product not inherently designed to curve in this manner made this project unique and challenging. Over several months of design coordination with the architect and general contractor, Anning-Johnson constructed a full-scale mock-up in its warehouse to study geometry, attachment methods, and visual continuity. This process allowed the project team to refine the system and achieve the desired architectural expression.

The city of Seattle required the entire ceiling system to be provided with toolless access. To meet this requirement, Anning-Johnson engineered the ceiling as a torsion spring system, introducing additional technical and coordination challenges. The installation required repositioning panel backers to align with the suspension grid, as well as close



The project team coordinated carefully to achieve a continuous flowing form while using a product not inherently designed to curve.

PHOTO BY BENJAMIN BENSCHNEIDER

collaboration with the manufacturer, who modified backer locations on each panel to match field conditions.

When reviewing the entries

for this award the judges were impressed by the thoughtful problem-solving, and execution of the toolless access system. The team delivered

a custom ceiling system that met regulatory requirements while maintaining the design intent and a high level of craftsmanship.

LIGHT-GAUGE STEEL FRAMING OVER \$1 MILLION WASHINGTON

Vietnamese Martyrs Parish

Location: 6841 S.180th St., Tukwila

Contractor: Mehrer Drywall

Architect: Broderick Architects

Labor partners: International Union of Painters and Allied Trades; Western States Carpenters

Vietnamese Martyrs Parish serves more than 2,000 Vietnamese Catholic families in the Seattle region. The Tukwila project involved demolition of a substantial portion of the original structure and construction of a two-story addition housing classrooms, administrative offices and a dramatically reimagined sanctuary.

Inspired by the Notre Dame Cathedral Basilica of Saigon, the design incorporates Gothic architectural elements including twin bell towers, a grand central dome, arched openings, and a soaring nave. Broderick Architects and Mehrer Drywall collaborated to translate this highly expressive design into a complex yet buildable light-gauge steel framing system.

The level of custom geometry makes this project stand out and the craftsmanship of the system makes it a winner. One of the most significant elements of the building is the 44,000-pound central dome. Engineered and fabricated as a highly detailed, custom assembly, the dome structure was erected through a carefully sequenced installation process requiring continuous layout adjustments as framing progressed upward.

Beneath the dome, the cylindrical drum base and nave framing features layered arches, Gothic angles, and compound radii that demanded high degree of precision and intricate field coordination.

Construction challenges were substantial. Persistent heavy rain complicated exterior framing operations. At the steeple bell towers, precise laser alignment was required while working from a 135-foot boom lift. Key architectural elements, including proscenium arches and ceiling details, lacked complete documentation, requiring the framing team to develop field-driven solutions in real time.

Additionally, the original steel design for the dome base was octagonal



The dome structure was erected through a carefully sequenced installation process requiring continuous layout adjustments as framing progressed upward.

PHOTO BY GUDMUNDUR IBSEN

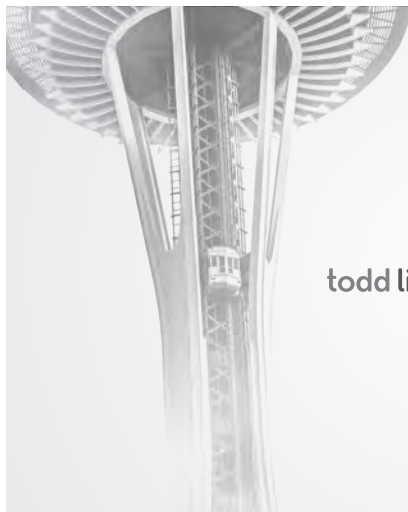
and incompatible with the required framing geometry. Mehrer Drywall coordinated with the steel fabricator to radius the steel components, eliminating the need for redundant framing and

preserving the architectural intent.

Extensive preplanning, mock-ups, and close collaboration with the general contractor, steel fabricators, and specialty suppliers

were essential to the project's success. Much of the framing — including major dome and tower components — was prefabricated offsite and craned into place. Despite the scale, complex-

ity, and level of custom work involved, the project was completed within budget and stands as a showcase of technical skill, coordination and craftsmanship in light-gauge steel framing.




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RENOVATION WASHINGTON

Devonshire Apartments

Location: 420 Wall Street, Seattle
Contractor: Alliance Partition Systems
Architect: Osborn Architects
Labor partners: Western States Carpenters; International Union of Painters and Allied Trades

Devonshire Apartments is a historic multifamily residential building in Seattle's Capitol Hill neighborhood. This renovation project focused on preserving the architectural character of a structure dating from 1925. Known for its classic detailing, including arched openings, fluted columns, decorative moldings, and high ceilings, the Devonshire remains a distinctive presence within Seattle's residential fabric.

Osborn Architects and Alliance Partition Systems collaborated to modernize interior systems while maintaining the building's historic integrity. Alliance Partition Systems performed framing, drywall, and finish work in support of the renovation.

The success of this project is its balance of preservation and modernization. Much of the original character including historic proportion, finishes, and spatial qualities were retained, new construction was carefully integrated to support contemporary residential use.

The renovation required detailed coordination to ensure new assem-

blies respected existing conditions and visual continuity throughout the building. The judges found this combination of respect for the historic fabric while bringing the building to modern standards appealing and award winning.

Reinforcing and supporting existing brick and concrete elements without demolition provided one of the most significant challenges. Alliance Partition Systems developed framing solutions that preserved historic masonry while meeting modern structural requirements. This work required the careful installation of clips, bolts, and epoxy anchors, with extensive testing, special inspections, and engineering review to confirm performance and avoid costly rework. Two preconstruction meetings were held to establish clear procedures and expectations before work commenced.

Additional challenges included matching the finish and texture of existing concrete surfaces where new drywall interfaces were required. Achieving these seamless transitions demanded an elevated level of craftsmanship and attention to detail during taping and finishing. Thorough planning, testing, and skilled execution, the project team successfully delivered a renovation that respects the Devonshire Apartments' historic character while ensuring long-term durability and functionality.



The project required detailed coordination to ensure new assemblies respected existing conditions and visual continuity throughout the 1925-era structure.

PHOTO FROM ALLIANCE PARTITION SYSTEMS

STUCCO/EIFS WASHINGTON

Snoqualmie Casino

Location: 37500 S.E. North Bend Way, Snoqualmie
Contractor: Phampena
Architect: Bergman Walls & Associates
Labor partners: Operative Plasterers' and Cement Masons' International Association; Western States Carpenters

An expansion to Snoqualmie Casino Resort includes a new 210-room hotel, expanded gaming floor, full-service spa, and additional restaurant and private event spaces. The project was designed to blend the natural character of the Pacific Northwest with a contemporary architectural expression that honors the heritage of the Snoqualmie Tribe. Phampena performed the exterior Exterior Insulation and Finish System (EIFS) scope, delivering a highly detailed façade that emulates natural wood construction while providing long-term durability in a challenging climate.

This project incorporated an innovative use of EIFS to replicate the appearance of handcrafted wood beams and wood siding without relying on traditional wood materials, which can deteriorate in the Pacific Northwest's harsh weather conditions. The EIFS system was customized to achieve realistic wood grain finish and incorporated two distinct siding expressions that resemble exposed beams and shiplap-style cladding.

In collaboration with Tremco's Fed-

derlite team, the project introduced a hybrid panelized EIFS system that was pre-meshed and base-coated with an integrated shiplap profile. This helped eliminate exposed sealant joints and created a more seamless, continuous exterior surface. This solution especially at the porte-cochère was in the judges opinions very well done indeed.

Achieving an authentic wood appearance with EIFS, maintaining visual continuity without panel gaps was a challenge as was executing the work under adverse winter conditions. As skilled labor capable of producing detailed wood grain textures was limited, the team relied on prefabrication and close coordination with material manufacturers to balance quality and schedule. Sealant joints were concealed using specialized Tremco Willseal products placed behind panels. This preserved the appearance of uninterrupted wood grain. High winds and cold temperatures delayed the project start, but strategic sequencing, cold-weather EIFS applications, and panelized installation methods allowed work to continue through the winter months without compromising quality.

Through innovation, collaboration, and craftsmanship, the project team delivered an exterior that redefines the aesthetic potential of EIFS and establishes a new benchmark for performance and appearance in large-scale resort construction.



The exterior system was customized to replicate the appearance of handcrafted wood beams and wood siding.

PHOTO BY PV BURNS



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INTERIOR OVER \$1 MILLION OREGON

Block 216 (Ritz-Carlton, Portland)

Location: 900 S.W. Washington St., Portland

Contractor: Western Partitions

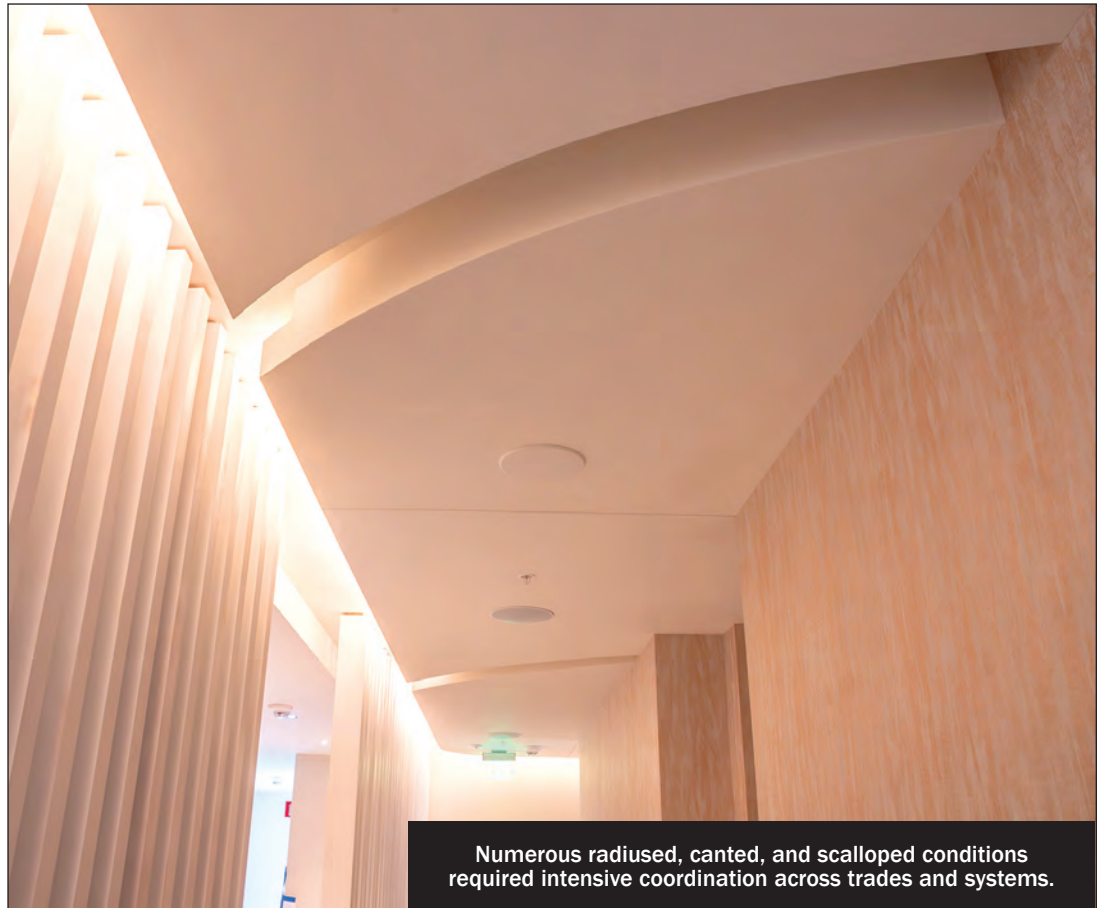
Architect: GBD Architects

Labor partners: International Union of Painters and Allied Trades; Laborers International Union of North America; Operative Plasterers' & Cement Masons' International Association; Western States Carpenters

Block 216 is a 35-story mixed-use tower in downtown Portland comprising a five-star Ritz-Carlton Hotel, luxury residences, Class-A office space, retail and below-grade parking. Rising 460 feet, the project is the first five-star hotel in Oregon and one of the largest private developments in the city in decades. GBD Architects and Western Partitions collaborated to deliver the highly detailed interior buildout. Western Partitions performed extensive interior wall, ceiling, soffit, fireproofing, and specialty finish work throughout the tower.

The scale, complexity, and exacting quality requirements associated with five-star hospitality and luxury residential construction makes this project unique in the Pacific Northwest. Interior assemblies demand exceptional sound performance, tight tolerances, and Level 5 finishes throughout hotel and residential common areas. Numerous radiused, canted, and scalloped conditions required intensive coordination across trades and systems.

Construction coincided with the COVID-19 pandemic and significant labor and site-security challenges in downtown Portland. Western Partitions maintained schedule continuity through early procurement, just-in-time material logistics, detailed micro-scheduling, and sustained field staffing that peaked at nearly 190 workers. Additional challenges included complex installation sequencing for specialty ceiling systems and recovery from multiple late-stage flooding events. Through coordination, workforce management, and rapid response, the project team successfully delivered a landmark interior project meeting the highest performance and finish standards.



Numerous radiused, canted, and scalloped conditions required intensive coordination across trades and systems.

PHOTO BY COOPER HOWARD

INTERIOR UNDER \$1 MILLION OREGON

Beaverton Year-Round Shelter

Location: 11380–11390 S.W. Beaverton-Hillsdale Highway, Beaverton

Contractor: Fred Shearer & Sons

Architect: Ink:Built Architecture

Labor partners: Western States Carpenters

This 12,000-square-foot tenant improvement converted an existing single-story building into a year-round shelter serving up to 60 people experiencing homelessness. The facility includes sleeping pods, restrooms and showers, an art room, coordinated care spaces, and a sensory refuge area. Designed with calming materials, colors, lighting, and natural light, the project aims to emphasize dignity, comfort, and a pathway toward permanent housing. Fred Shearer & Sons performed metal stud framing, drywall, insulation, acoustic ceilings, FRP, and specialty acoustical installations.

The project is unique for its extensive use of non-standard framing and specialty acoustic features. Radius and arched walls and soffits were custom framed, and the sleeping pod areas were constructed as freestanding modules without kickers. Circular acoustic baffles and ceiling clouds of varying colors and elevations were installed above key areas to improve acoustics and create a soothing interior environment.

Through careful planning and field-driven solutions, the team successfully delivered a highly functional and thoughtfully detailed interior space. Key challenges included maintaining precise alignment for circular soffits and baffle suspension points.

To achieve consistent hanger spacing, the framing was laid out in a “wagon wheel” configuration with radial studs extending from the center point. Additional coordination was required to install hundreds of engineered bracket connection points prior to drywall installation and to adjust work sequencing after roof trusses were removed late in construction. The judges applauded the ingenious radial framing and the framing of the sleeping pods without kickers.



Circular acoustic baffles and ceiling clouds of varying colors and elevations were installed above key areas to improve acoustics and create a soothing interior environment.

PHOTO BY BRITTANY PARK

EXTERIOR, COMMERCIAL OREGON

Willamette Valley Oregon Temple

Location: 300 International Way, Springfield
Contractor: Mid-Valley Commercial Construction
Architect: HKS
Labor partners: Western States Carpenters

Willamette Valley Oregon Temple is a purpose-built religious facility serving members of the Church of Jesus Christ of Latter-day Saints throughout Oregon. As the state's third temple, the project was conceived as a permanent place of worship with exceptionally high architectural and finish standards.

Located in Springfield, the temple provides a spiritual center for congregations across the region and reflects a long tradition of carefully crafted sacred architecture. Mid-Valley Construction performed exterior framing and related scopes in support of the building's highly refined design.

The project is notable for the precision required to execute complex exterior assemblies and intricate soffit and ceiling conditions. The design called for flawless finishes, consistent wall flatness, and clean transitions throughout highly visible spaces. These requirements were compounded by extensive plywood



The project is notable for the precision required to execute complex exterior assemblies and intricate soffit and ceiling conditions.

PHOTO BY KEN BISSET

backing, which increased the difficulty of maintaining tight tolerances across large wall and ceiling surfaces.

Prolonged periods of inclement weather delayed drying-in the structure and placed added pressure on the project schedule. In addition, the complexity of soffit geometries demanded an elevated level of accu-

racy to achieve crisp edges and uniform surfaces. To address these conditions, the project team employed advanced construction techniques, including drywall grid systems and CNC-assisted back-cutting of drywall. This approach eliminated the need for traditional corner bead at soffit transitions, resulting in sharper

lines and improved finish quality.

Through careful planning, skilled execution, and close coordination among the project team, the Willamette Valley Oregon Temple was completed to an exceptionally high standard, befitting its purpose as a sacred and enduring place of worship.

SUSPENDED CEILING OREGON

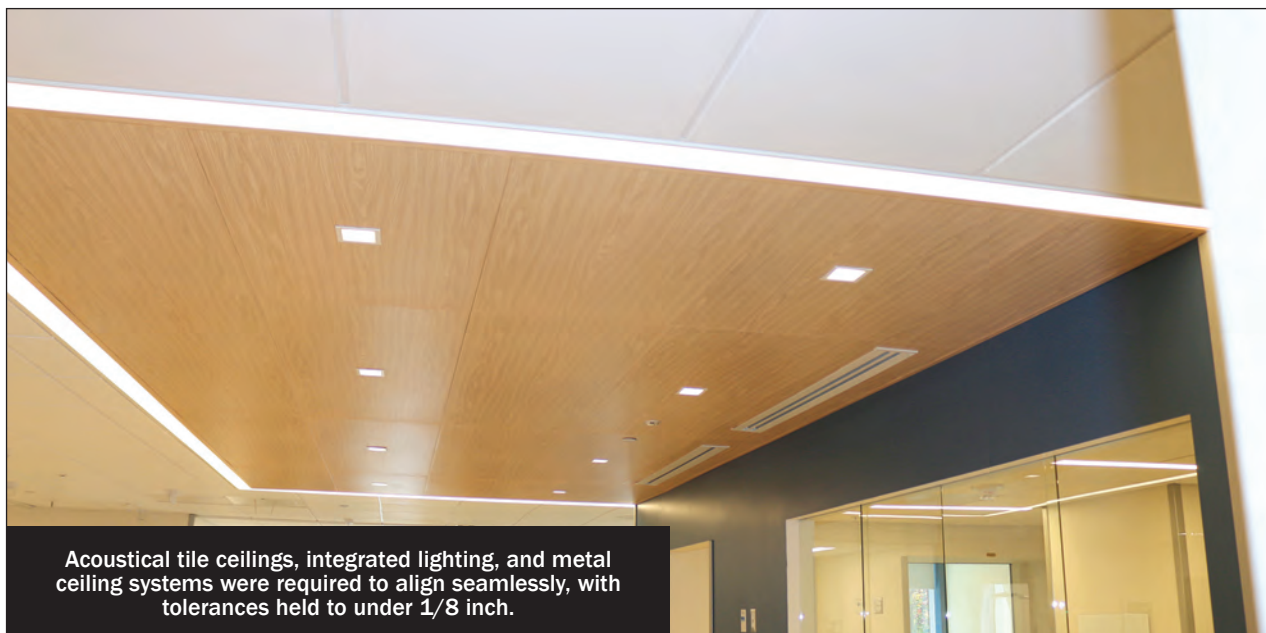
PeaceHealth Southwest Medical Center Emergency Department Addition

Location: 400 N.E. Mother Joseph Place, Vancouver, Washington
Contractor: Performance Contracting
Architect: ZGF Architects
Labor partners: Western States Carpenters; International Union of Painters and Allied Trades; Operative Plasterers' & Cement Masons' International Association

PeaceHealth Southwest Medical Center's Emergency Department's two-story, 55,000-square-foot expansion significantly enhances emergency care capacity at an active hospital campus in Vancouver, Washington. The project includes new treatment, exam, and trauma rooms, a 24-bed observation unit, and a 4,000-square-foot community care center dedicated to serving non-medical patients.

Designed by ZGF and constructed by Turner Construction, the addition connects to the existing hospital at six separate locations, requiring exceptional coordination and sensitivity to patient safety and ongoing operations. Performance Contracting performed the suspended ceiling and specialty ceiling scopes throughout the addition.

The project is notable for the precision required to integrate multiple ceiling systems within a highly technical healthcare environment. Acoustical tile ceilings, integrated lighting, and metal ceiling systems were required to align seamlessly, with tolerances held to under 1/8 inch. These complex ceiling transitions occurred at ten locations, all of which passed inspection without punch list items,



Acoustical tile ceilings, integrated lighting, and metal ceiling systems were required to align seamlessly, with tolerances held to under 1/8 inch.

PHOTO BY PAUL ADELMAN

reflecting the high level of coordination between trades.

Additional challenges included the installation of custom wood ceilings along angled corridors, where the ceiling edges were required to maintain consistent reveals aligned with adjacent glazing. Each wood panel was hand-cut to accommodate changing angles. When material quantities were underestimated by the supplier, early procurement and rapid collaboration allowed replacement materials to be secured without impacting the

schedule. The judges saw the clear simplicity of the final finish at these edges especially notable.

All work was performed within an active medical facility, requiring strict particle containment, noise control, and logistical planning to protect patients and staff. Through careful coordination, proactive problem-solving, and precise execution, the project team delivered a functional, durable, and visually refined emergency department that meets the demanding standards of modern healthcare construction.



Photo by Benjamin Benschneider

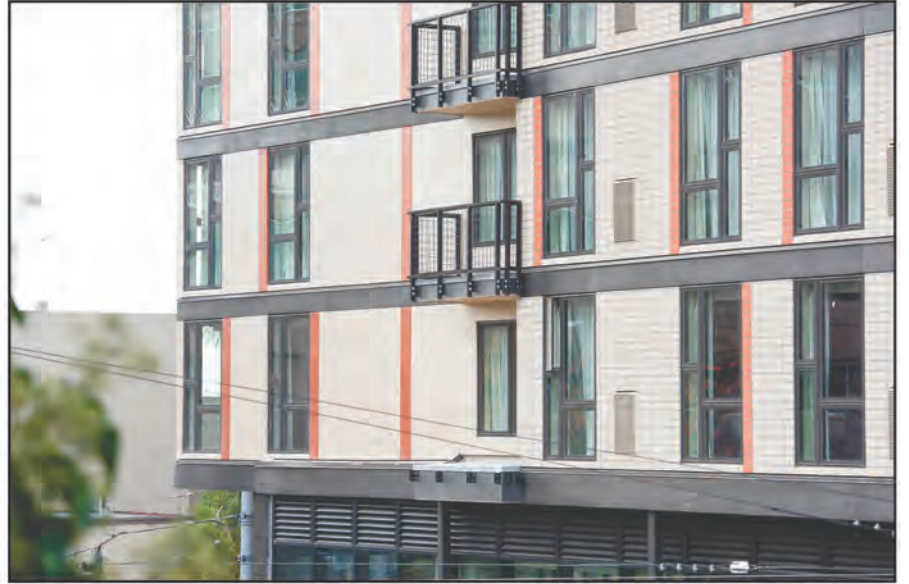


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LIGHT-GAUGE STEEL FRAMING OVER \$1 MILLION OREGON

Clackamas County Circuit Courthouse

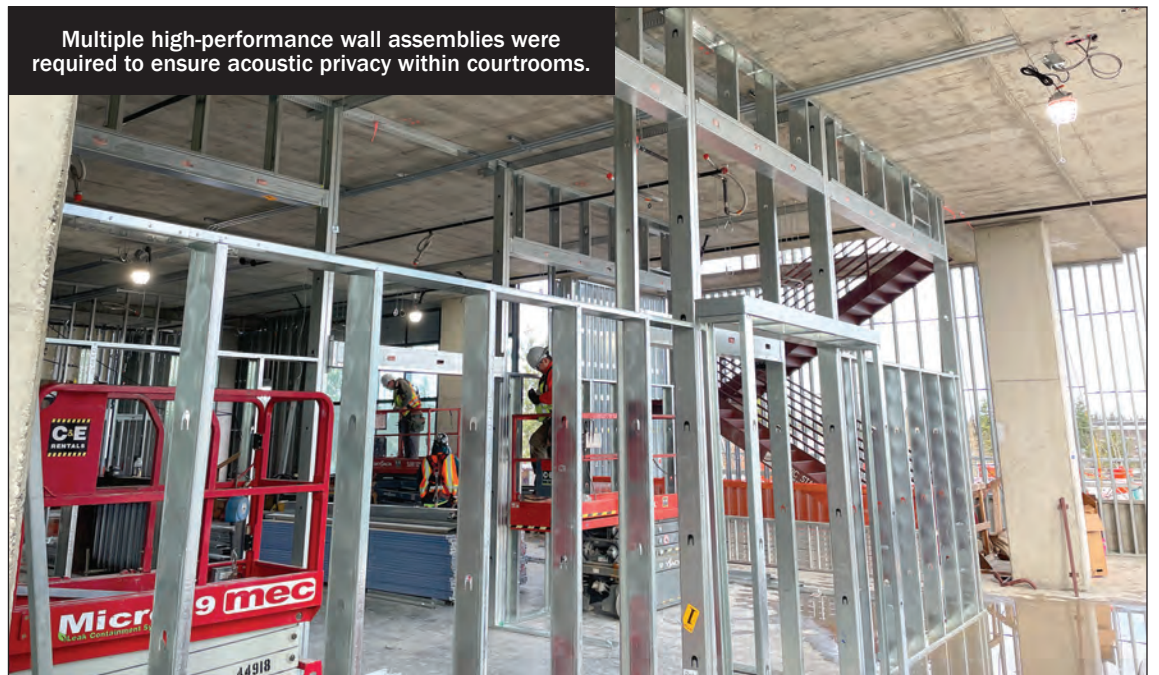
Location: 1000 Courthouse Road, Oregon City
Contractor: Cascade Acoustics
Architect: DLR Group, Portland, Oregon
Labor partners: Western States Carpenters; Operative Plasterers' & Cement Masons' International Association; Laborers International Union of North America

Clackamas County Circuit Courthouse is a new six-story, 250,000-square-foot judicial facility, housing 14 courtrooms with capacity for future expansion, judges' chambers, secured circulation areas, holding cells, and offices for county, state, and city agencies. Designed to meet strict functional, security and acoustic requirements, the building serves as a critical civic institution for Clackamas County and was delivered to LEED Gold standards. Cascade Acoustics served as a design-assist subcontractor and performed extensive interior and exterior framing, drywall, ceiling, and acoustic scopes throughout the facility.

The project is notable for its delivery under a P3 Uniform Special Conditions subcontract, which required the design to continue evolving during construction. Cascade Acoustics collaborated closely with the architect, engineers, general contractor, and fellow trades over a ten-month preconstruction period to refine wall and ceiling systems to meet stringent STC, CAC, and NRC performance criteria while maintaining schedule and cost control.

One of the most significant challenges was ensuring acoustic privacy within courtrooms, where STC performance was paramount and errors were unacceptable. Multiple high-performance wall assemblies were required, and even minor deviations could compromise compliance. To mitigate risk, Cascade Acoustics implemented a robust QA/QC program that included full-time monitors, color-coded drawings, documented installation procedures, and photo-based tracking to verify compliance at every stage.

Courtroom ceilings introduced additional complexity, combining drywall and acoustical ceilings with compound radii to form elliptical geometries. Each courtroom was similar but uniquely configured, requiring precise coordination and custom-fabricated components. Through disciplined quality control, collaboration, and technical execution, the project team successfully delivered highly complex framing for the project that meets the demanding functional, acoustic, and security standards of a modern courthouse.



Multiple high-performance wall assemblies were required to ensure acoustic privacy within courtrooms.

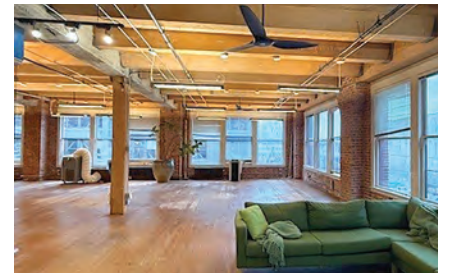
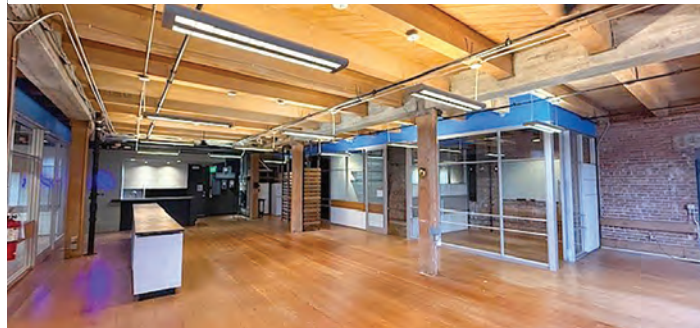
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LCC Industry and Trades Education Center

Location: 4000 E 30th Avenue, Eugene
Contractor: Mid-Valley Commercial Construction
Architect: Hennebery Eddy Architects
Labor partners: Western States Carpenters

Industry and Trades Education Center is a new workforce training facility located on the Lane Community College campus in Eugene. The project replaced the aging Building 12, which had significant deferred maintenance and seismic deficiencies, with a modern facility designed to support career technical education and apprenticeship programs. The new building serves as a flexible, future-ready hub for industrial trades instruction, providing students and faculty with adaptable learning environments equipped for evolving technologies and teaching methods. Mid-Valley Construction performed the light-gauge steel framing scope for the project.

The project is notable for its program-driven design and emphasis on long-term adaptability. The facility was conceived as a “workforce and advanced technology hub,” with flexible interior layouts capable of accommodating a wide range of tools, equipment and instructional formats. Sustainability was a key driver, with the project designed to achieve LEED Gold certification through energy-efficient systems, responsible material selection, and durable construction strategies.

A primary challenge was the aggressive project schedule. Construction began in April 2023 with a target occupancy of November 2024, leaving



Early procurement, planning and coordination helped the team address a tight construction timeline and material availability and cost volatility issues.

PHOTO FROM LEASE CRUTCHER LEWIS

little margin for delay. Material availability and cost volatility further complicated the timeline. These challenges were addressed through early procurement, detailed planning, and close coordination with suppliers and trade partners to maintain steady progress.

Another significant consideration was the decision to demolish the existing structure rather than retrofit it. Structural analysis confirmed that seismic upgrades and programmatic modifications

would be inefficient and costly. The new facility resolves these issues, delivering a safe, resilient and highly functional building.

Through careful planning, collaboration, and disciplined execution, the Industry and Trades Education Center delivers a forward-looking educational facility that supports workforce development and provides lasting value to the LCC campus and surrounding community.

RENOVATION OREGON

Benson Polytechnic High School Modernization

Location: 546 N.E. 12th Ave., Portland
Contractor: The Harver Company
Architect: Bassetti Architects
Labor partners: International Union of Painters and Allied Trades; Laborers International Union of North America; Operative Plasterers' & Cement Masons' International Association; Western States Carpenters

This comprehensive \$416 million campus renewal project in Northeast Portland blends historic preservation with contemporary, career-focused educational facilities. The project modernized and expanded a century-old campus, restoring five historic buildings while constructing five new structures to support advanced Career Technical Education (CTE) programs. The result is a state-of-the-art learning environment that honors Benson's legacy while preparing students for high-demand trades and technologies.

The project is notable for its scale, complexity, and integration of old and new construction across ten buildings. Historic elements—including original wood trim, auditorium seating, gymnasium flooring, and ornamental architectural details — were carefully preserved



The project carefully preserved historic elements while modernizing classrooms, laboratories and student spaces across 10 buildings.

PHOTO BY GABRIEL HURLEY

and integrated alongside modern classrooms, laboratories, and student spaces. New facilities include expanded CTE wings, specialized labs for health sciences, automotive technology, digital media, and broadcasting, and modernized athletic and performance spaces. The campus was designed to achieve LEED Gold certification, incorporating energy-efficient systems, sustainable materials, and outdoor learning and gath-

ering areas.

All 10 buildings were under construction simultaneously on an active, nine-acre campus, requiring intensive coordination and sequencing. Extensive seismic retrofitting was required across historic structures, along with complex framing, specialty ceilings, acoustic systems, and restored plaster assemblies. The Harver Company managed a large workforce, coordinated daily

with MEP trades, and addressed late design changes, structural adjustments, and water damage repairs while maintaining progress toward a fixed occupancy date.

Through disciplined planning, skilled craftsmanship, and collaborative execution, the project team delivered a revitalized campus that serves as a national model for integrating historic preservation with modern educational infrastructure.

RESTORATION OREGON

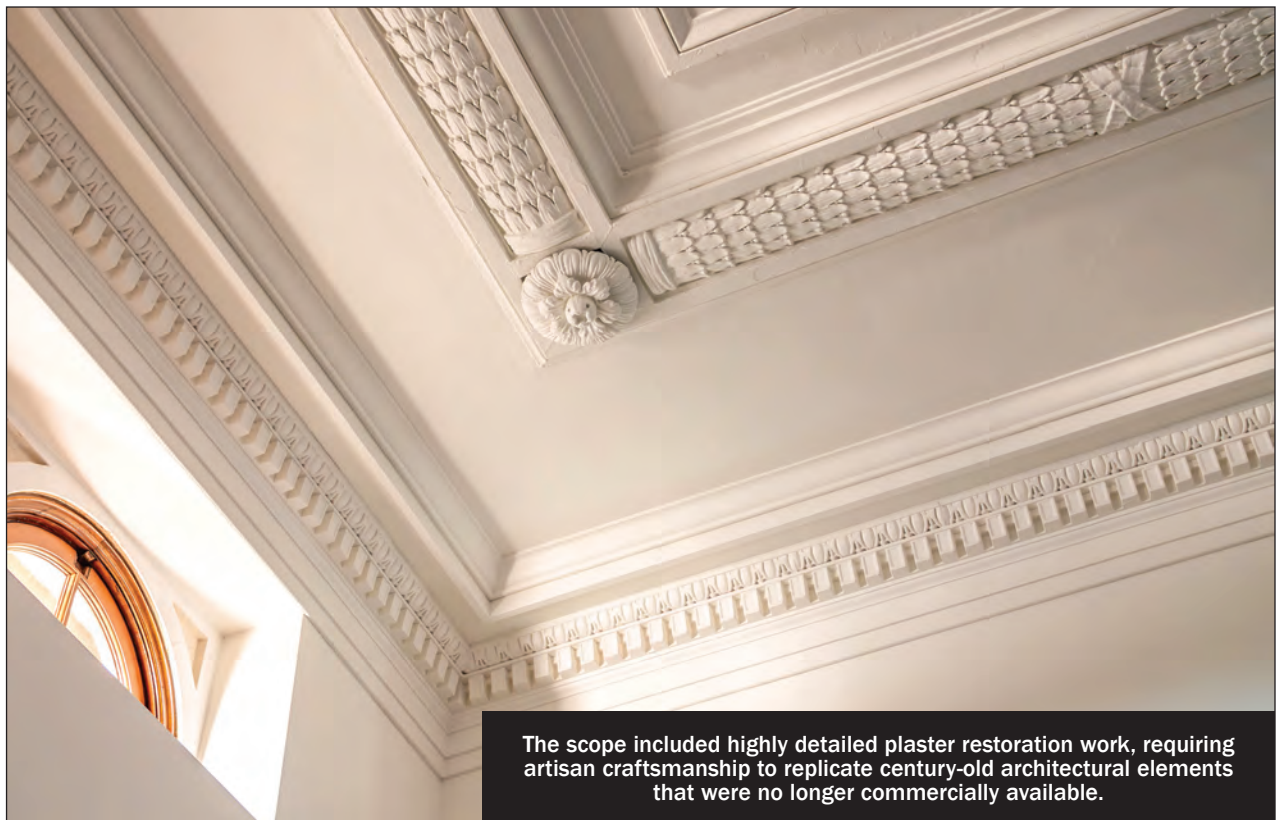
Albina Library

Location: 205 N.E. Russell St., Portland
Contractor: Western Partitions
Architect: Lever Architecture
Labor partners: Operative Plasterers' and Cement Masons' International Association; Western States Carpenters

Albina Library is a major renovation and expansion of Portland's historic Carnegie-era library, transforming the building into a 30,000-square-foot modern community hub while preserving its architectural legacy. Completed in 2025, the project included seismic upgrades, expanded study areas, teen technology spaces, community meeting rooms, a new outdoor courtyard, and integrated public art reflecting local culture. This renovation is part of Multnomah County's voter-approved library bond program focused on inclusive, community-driven design.

The project is notable for its careful balance of historic preservation and contemporary construction. Western Partitions' scope included highly detailed plaster restoration work, requiring artisan craftsmanship to replicate century-old architectural elements that were no longer commercially available. Original plaster details — specifically lentil and dart moldings — were selectively removed and studied to replicate accurate profiles. From these samples, custom molds were fabricated and reproduced the historic detailing with fidelity.

Installing these new plaster elements onto irregular substrates shaped by decades of modifications and aging construction. Extensive surface preparation and field adjustment were required to ensure proper alignment and adhesion without compromising the historic appearance. Experi-



The scope included highly detailed plaster restoration work, requiring artisan craftsmanship to replicate century-old architectural elements that were no longer commercially available.

PHOTO BY COOPER HOWARD

enced plaster craftsmen and a disciplined QA/QC process met both modern performance requirements and preservation standards.

Through meticulous planning, custom fabrication, and skilled execution, the project team delivered restored architectural details that are

visually indistinguishable from the original work. The Albina Library renovation stands as a strong example of adaptive reuse, demonstrating how historic public buildings can be thoughtfully modernized while preserving the craftsmanship and character that define their cultural significance.

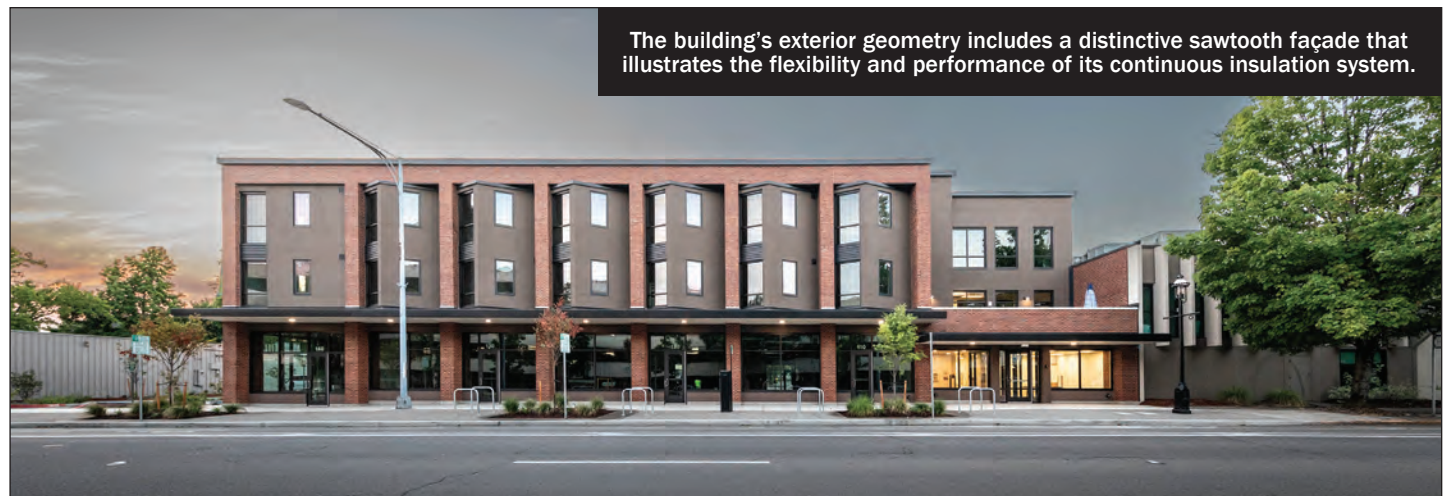
STUCCO / EIFS OREGON

Hope Plaza

Location: 605 Center Street N.E., Salem
Contractor: The Harver Company
Architect: Anderson Shirley Architects
Labor partners: Western States Carpenters; Operative Plasterers' & Cement Masons' International Association

Hope Plaza is a mixed-use development in downtown Salem that transforms the former Greyhound bus station site into a supportive housing and employment hub for survivors of domestic violence, sexual assault, stalking and human trafficking. The project combines ground-floor retail spaces with safe housing above, creating opportunities for job training and long-term stability while contributing to the surrounding urban fabric.

The project is notable for both its social mission and its innovative exterior construction. Hope Plaza is the first large-scale project in the Pacific Northwest to utilize PermaBase CI, a composite cement board with integrated rigid insulation that provides continuous insulation (CI) while serving as a substrate for direct-applied stucco systems.



The building's exterior geometry includes a distinctive sawtooth façade that illustrates the flexibility and performance of its continuous insulation system.

PHOTO BY GABRIEL HURLEY

The system was paired with a Dryvit exterior finish to address thermal performance, air and moisture control, and durability, particularly where steel stud framing would otherwise contribute to thermal bridging. The building's exterior geometry, including a distinctive sawtooth façade, provided an opportunity to demonstrate the flexibility and performance of the system.

Complex angles, winter weather, and the presence of an open-air atrium

at the center of the building provided construction challenges. Scaffolding systems were carefully configured to accommodate the sawtooth geometry and fully shrink-wrapped to protect work areas from rain and ice. Temporary wood enclosures and supplemental heat were used to protect the atrium and maintain appropriate conditions for stucco installation.

The judges were impressed with the outstanding use of this system.

The added benefit of Continuous Insulation creates great value for the client.

Through close coordination with NWCB technical staff, manufacturers, and third-party consultants, the project team successfully implemented new materials and detailing methods. The result is a high-performing, visually striking exterior that supports the project's broader mission of safety, dignity and long-term community impact.



MADISON
DOUBLE R

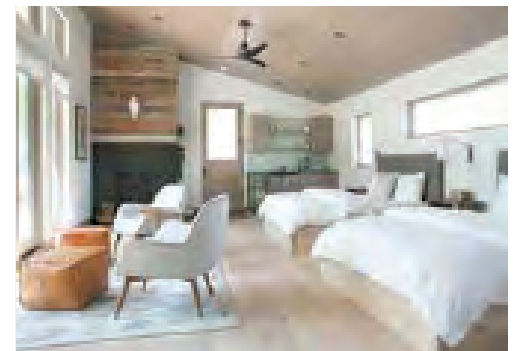
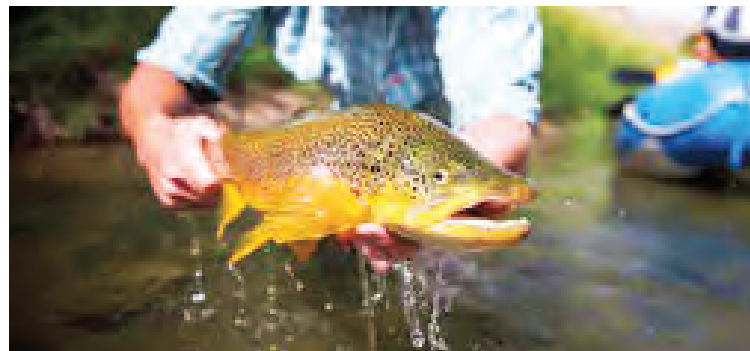
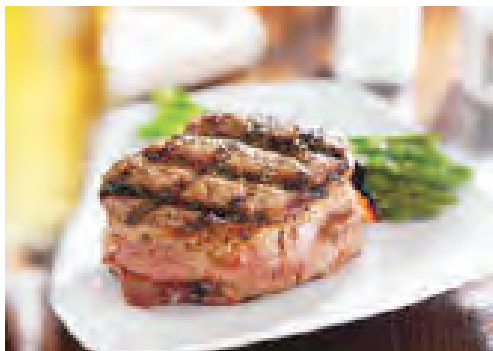
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